

DEPARTMENT OF CITY PLANNING
100 Larkin Street
San Francisco 2, California

October, 1963

PROPOSED TEXT OF R-3 AND R-3.5 DISTRICT REVISIONS

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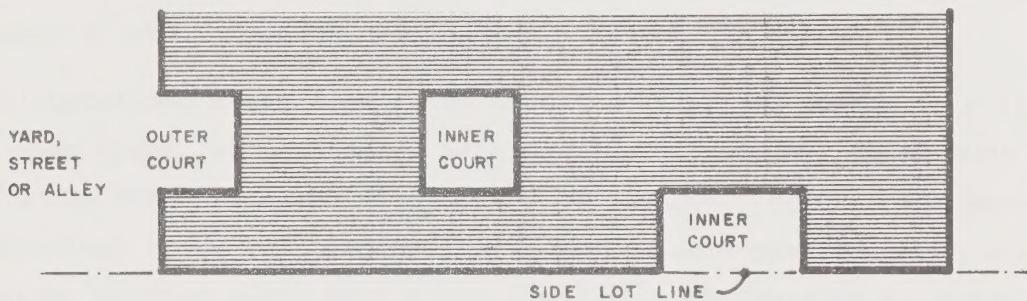


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(A) New City Planning Code Sections

SEC. 102.7.2. Court. Any space on a lot other than a yard which, from a point not more than two (2) feet above the floor line of the lowest story in the building on the lot in which there are windows from rooms abutting and served by the court, is open and unobstructed to the sky, except for obstructions permitted by this Code. An "Outer Court" is a court, one entire side or end of which is bounded by a front yard, a rear yard, a side yard, a front lot line, a street, or an alley. An "Inner Court" is any court which is not an outer court.



SEC. 102.34.1. Usable Open Space. Outdoor area designed for outdoor living, recreation, household utility space or landscaping, including such areas on the ground and on roofs, porches, decks, and balconies, which are safe and suitably surfaced, and which conform to this Code as to location, slope, minimum dimensions and area, exposure, permitted obstructions, and other requirements.

"Common Usable Open Space" is area designed to serve two or more dwelling units (or bedrooms in group housing) jointly, and easily and independently accessible to each of them. "Private Usable Open Space" is area private to and designed to serve only one dwelling unit (or bedroom in group housing), and immediately accessible to it.

The usable open space required by this Code for a given dwelling unit (or bedroom in group housing) need not be entirely in one location, but the minimum total amount of usable open space must be provided on the lot, and if the space is divided each portion of such space must meet the requirements of this Code.

(The term "Required Open Space", as defined in Section 102.25 of this Code, refers both to usable open space and to other open areas required by this Code.)

SEC. 134.1. Usable Open Space for Properties Subject to R-3 and R-3.5 District Regulations.

(a) Total amount required. Usable open space, as defined and regulated by this Code, shall be provided for each dwelling unit in an R-3 or R-3.5 district (or in a C district if on a lot subject to the R-3 or R-3.5 dwelling unit density ratio), either as common usable open space at the minimum ratio of 200 square feet per dwelling unit in R-3 and 150 square feet per dwelling unit in R-3.5; or as private usable open space, each square foot of which shall be considered equal to 1.33 square feet of the common usable open space required; or in some combination of common and private usable open space at the foregoing minimum ratios.

(b) Location. Every area to be credited as either common or private usable open space (as defined in Section 102.34.1 of this Code) must be no more than $2\frac{1}{2}$ feet above the floor level of any dwelling unit (or bedroom in group housing) it serves, except that common usable open space on an uphill site may be further above such floor level if such space is at grade.

(c) Permitted obstructions. In the calculation of either common or private usable open space, those obstructions listed in Section 126 of this Code for usable open space shall be permitted.

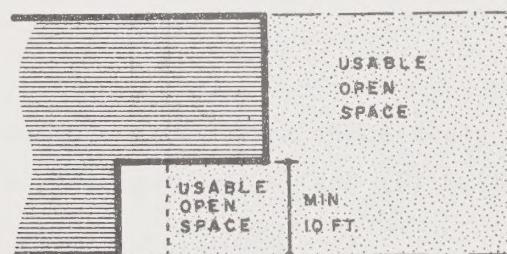
(d) Common usable open space: additional provisions.

1. Minimum dimensions and minimum area. Any space credited as common usable open space shall be at least 20 feet in every horizontal dimension and shall have a minimum area of 400 square feet, except for the following situations:

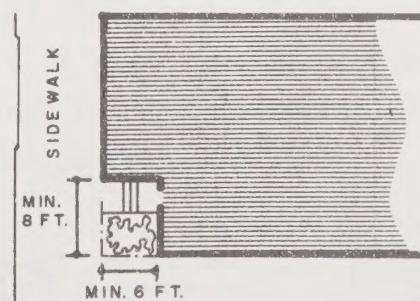
(A) Where a permitted driveway or open off-street parking space adjoins the common usable open space and thereby reduces the available area on the ground, the minimum horizontal dimensions shall be 14 feet in one direction and 20 feet in the other direction, and the minimum area shall be 350 square feet.



- (B) Where the legal width of the lot is less than 20 feet and/or the legal depth of the lot is less than 80 feet (100 feet in the case of a corner lot), any horizontal dimension of the usable open space that is directly affected by the small lot size may be reduced to the width of the lot or to the depth of the required rear yard as the case may be, and the minimum area shall be 300 square feet.
- (C) Where an additional area, not less than 10 feet in width, directly adjoins an area meeting the above requirements for usable open space, that portion of such additional area whose depth is no greater than the width of the opening to the area may be included as usable open space.

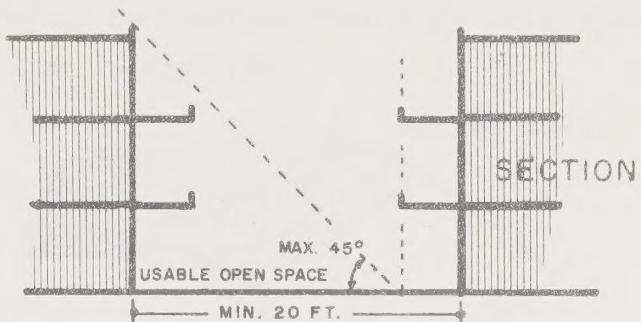


- (D) A landscaped area at a street side of the building may be credited as usable open space if (regardless of paragraph 134.1(c) above) such area is free of obstructions other than those permitted in Section 126(a) of this Code and an entry walk and steps not more than 3 feet above grade, and if its horizontal dimensions are no less than 6 feet in depth and no less than 8 feet in width.



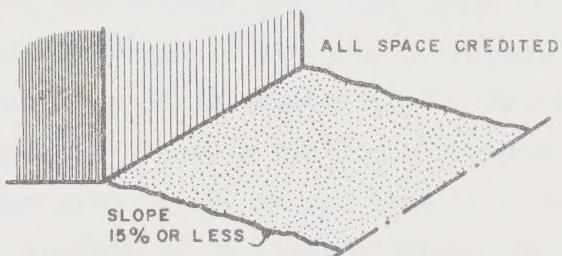
2. Use of inner courts. The area of an inner court may be credited as common usable open space, if the enclosed space is not less than 20 feet in every horizontal dimension; and if (regardless of the permitted obstructions referred to in paragraph 134.1(c) above) the

height of the walls and projections above the court on at least 3 sides (or 75 per cent of the perimeter, whichever is greater) is such that no point on any such wall or projection is higher than one foot for each foot that such point is horizontally distant from the opposite side of the clear space in the court.

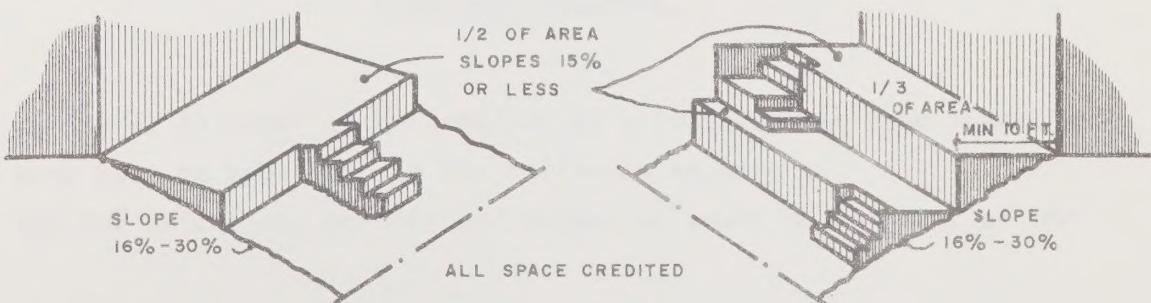


3. Slope.

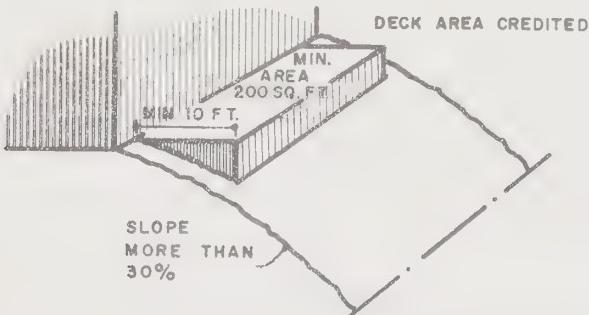
- (A) The slope of common usable open space shall not exceed 15 per cent, except as provided in (B) and (C) below.



- (B) Where an area meeting other requirements of this Code has an overall slope not exceeding 30 per cent, the entire area may be credited as common usable open space if developed with one or more terraces or decks in such a way that at least one-half of the total area to be credited is leveled to slope not more than 15 per cent, and if at least one-third of the total area to be credited is contained in a single terrace or deck no less than 10 feet in every horizontal dimension.

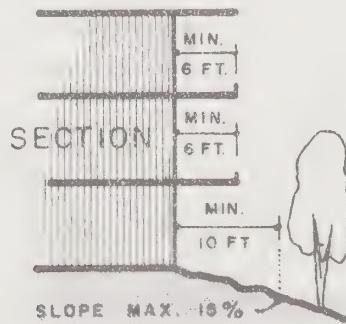


- (C) Where the total open area on a slope conforms to the minimum dimension and area requirements of paragraph (d)1 above, but cannot be credited as usable open space under 3(A) or 3(B) above, a flat deck or terrace not less than 10 feet in every horizontal dimension and not less than 200 square feet in area may nevertheless be credited toward the total common usable open space that is required.



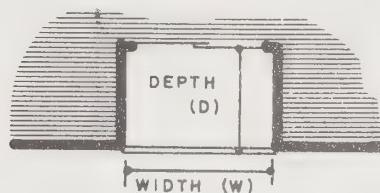
(e) Private usable open space: additional provisions.

1. Minimum dimensions and minimum area. Any space credited as private usable open space shall have a minimum horizontal dimension of 6 feet and a minimum area of 36 square feet if located on a balcony, porch or deck, and shall have a minimum horizontal dimension of 10 feet and a minimum area of 100 square feet if located on open ground, a terrace or the surface of an inner or outer court.
2. Slope. The slope of private usable open space shall not exceed 15 per cent.



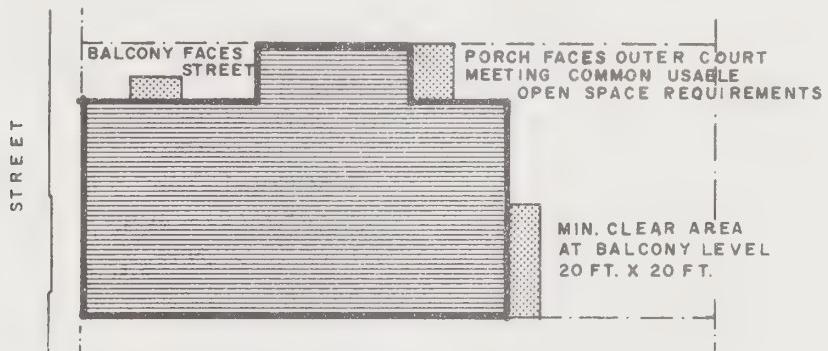
3. Exposure. In order to be credited as private usable open space, an area must be kept open in the following manner:
 - (A) For balconies, porches and decks, at least 30 per cent of the

perimeter must be unobstructed except for necessary railings.

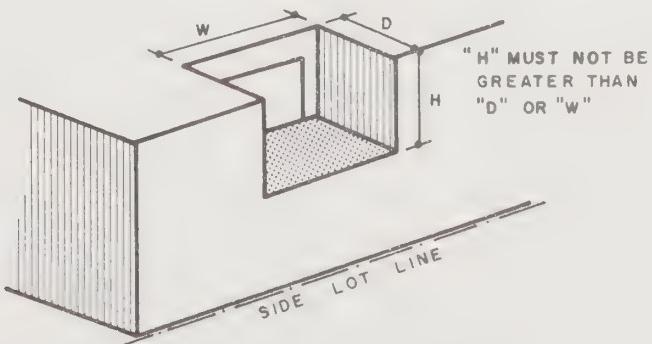


WIDTH = AT LEAST .30(2D + 2W)

- (B) The area must either face a street, face or be within a rear yard, or face or be within some other space which at the level of the private usable open space meets the minimum dimension and area requirements for common usable open space.



- (C) Areas within inner and outer courts which do not conform to paragraph (B) above shall be so arranged that the height of the walls and projections above the court on at least 3 sides (or 75 per cent of the perimeter, whichever is greater) is such that no point on any such wall or projection is higher than one foot for each foot that such point is horizontally distant from the opposite side of the clear space in the court, regardless of the permitted obstructions referred to in paragraph 134.1(c) above.

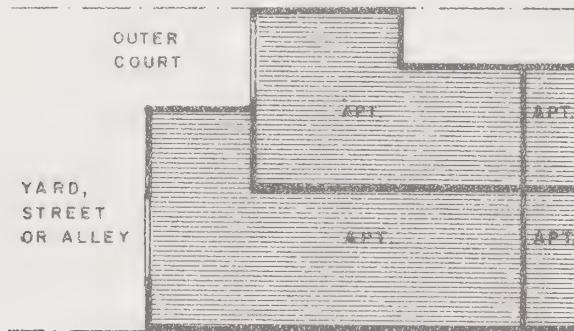


4. Fire escapes as usable open space. Normal fire escape grating shall not be considered suitable surfacing for usable open space. The steps of a fire escape stairway or ladder, and any space less than 6 feet deep between such steps and a wall of the building, shall not be credited as usable open space. But the mere potential use of a balcony area for an emergency fire exit by occupants of other dwelling units shall not prevent it from being credited as usable open space on grounds of lack of privacy or usability.

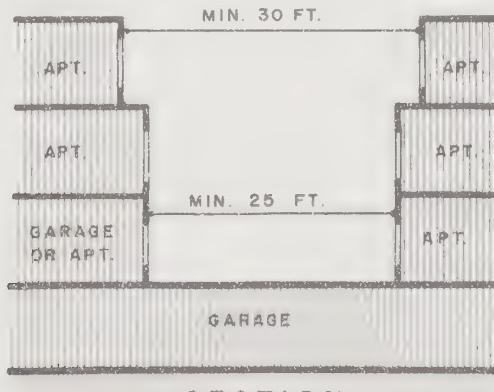
SEC. 134.2. All Dwelling Units Subject to R-3 and R-3.5 District Regulations to Face on Open Area.

(a) In each dwelling unit in a building in an R-3 or R-3.5 district (or in a C district if on a lot subject to the R-3 or R-3.5 dwelling unit density ratio), the required windows (as defined by Section 704 of the San Francisco Housing Code) of at least one room that meets the 120-square foot minimum superficial floor area requirement of Section 701 of the Housing Code shall face directly on an open area of one of the following types:

1. A public street, public alley at least 25 feet in width, side yard at least 25 feet in width, or rear yard meeting the requirements of this Code; provided that if such windows are on an outer court whose width is less than 25 feet the depth of such court shall be no greater than its width; or



2. An open area (whether an inner court or a space between separate buildings on the same lot) which is unobstructed (except for fire escapes not projecting more than necessary for safety and in no case more than $4\frac{1}{2}$ feet, chimneys, and those obstructions permitted in Sections 126(f), (g), and (h) of this Code) and is no less than 25 feet in every horizontal dimension for the floor at which the dwelling unit in question is located and the floor immediately above it, with an increase of 5 feet in every horizontal dimension at each subsequent floor.

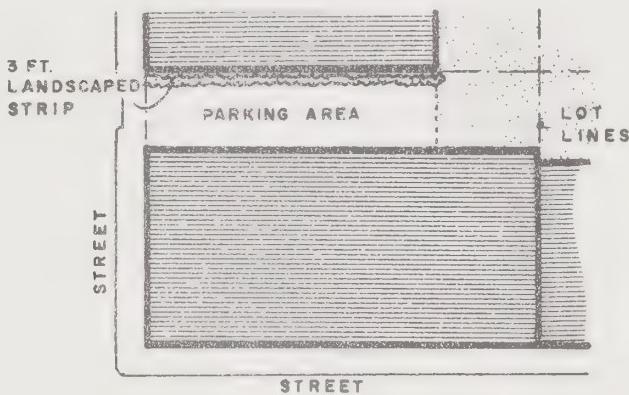


SEC. 134.3. Group Housing Subject to R-3 and R-3.5 District Regulations: Density and Usable Open Space. Every boarding house, club, fraternity or sorority house in an R-3 or R-3.5 district, or in a C district if on a lot subject to the R-3 or R-3.5 dwelling unit density ratio, shall meet the following standards in addition to other applicable provisions of this Code:

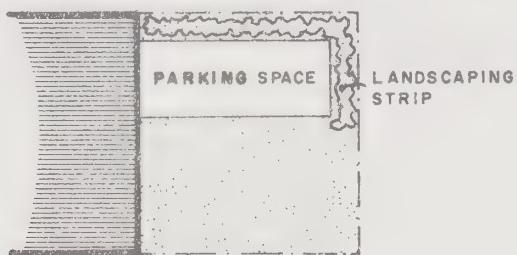
- (a) The number of bedrooms shall not exceed one (1) for each three hundred ten (310) square feet of lot area in R-3 districts or one (1) for each two hundred twenty (220) square feet of lot area in R-3.5 districts.
- (b) Usable open space, as regulated by Section 134.1 of this Code, shall be provided for each bedroom, either as common usable open space at the minimum ratio of 75 square feet per bedroom in R-3 and 55 square feet per bedroom in R-3.5; or as private usable open space, each square foot of which shall be considered equal to 1.33 square feet of the common usable open space required; or in some combination of common and private usable open space at the foregoing minimum ratios. All portions of Section 134.1, other than paragraph (a) of that Section, shall be applicable, with the term "bedroom" substituted for "dwelling unit" wherever it occurs.

SEC. 134.4. Driveways and Parking in Required Rear Yards in R-3 and R-3.5 Districts. Driveways, parking spaces, and all maneuvering areas for parking shall be prohibited from occupying any part of a required rear yard in R-3 and R-3.5 districts, with the following exceptions:

- (a) Garages which are under ground or under decks, as permitted by Section 126(m) of this Code.
- (b) That part of an open area on a corner lot which adjoins the portion of the side lot line of the adjacent lot that may be occupied by a building under the yard provisions of this Code, provided that a landscaped strip at least 3 feet in width is installed and maintained along such portion of such side lot line.



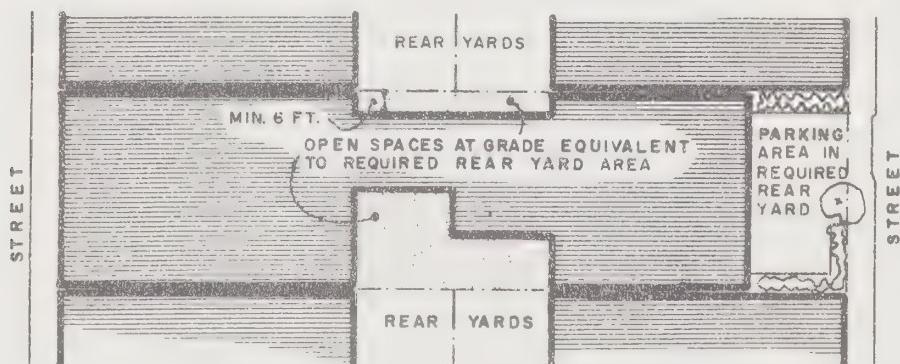
- (c) One open required parking space or a part thereof, or a driveway or maneuvering area, which must necessarily be located within a required rear yard due to the fact that the lot is legally narrower than 25 feet and/or legally shorter than 100 feet, provided that landscaping is installed and maintained between any such area and all lot lines of adjacent lots.



- (d) Open required parking spaces, driveways and maneuvering area, to the total extent of 200 square feet of the required rear yard for any lot in an R-3.5 district, provided that landscaping is installed and maintained between any such area and all lot lines of adjacent lots.

(e) Open required parking spaces, driveways and maneuvering area, to the total extent of 250 square feet of the required rear yard, in the case of conversion of a building into a dwelling or conversion of a dwelling so as to accommodate an increased number of dwelling units, where such use of the required rear yard area is necessary; provided that any such parking spaces, driveways and maneuvering area are arranged to produce the minimum encroachment, and landscaping is installed and maintained between any such area and all lot lines of adjacent lots.

(f) Garages and carports not over 12 feet in height, and open parking, driveways and maneuvering area, which are in a required rear yard abutting a street or alley on a through lot; provided that landscaping is installed and maintained in such yard where appropriate; and provided also that a continuous open space or open spaces with a minimum horizontal dimension of 6 feet and a total area equivalent to the area of the required rear yard or portion thereof so occupied are left open (except for such obstructions as are permitted for required rear yards by Section 126 of this Code) at grade elsewhere on the lot, and that such open space or open spaces are located, in their entirety, adjacent to all interior required rear yard areas on adjacent lots.



SEC. 204.3. R-3.5 Districts. Any lot in an R-3.5 district may be occupied by a principal use listed in Section 204.4, or by a conditional use listed in Section 204.5; subject to the regulations as to height and bulk set forth in Sections 120, 121 and 123 and the lot area, coverage, yard, usable open space, court, and parking requirements set forth in Sections 124 to 126, 129, and 132 to 139, inclusive.

SEC. 204.4. Principal Uses Permitted, R-3.5 Districts.

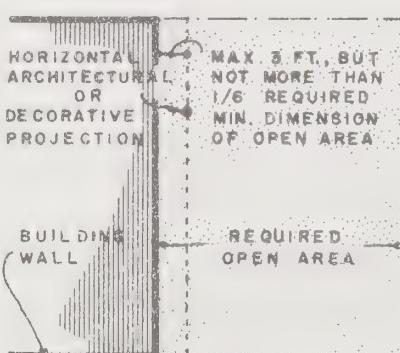
- (a) All principal uses permitted in R-3 districts.
- (b) Any of the following transitional uses, if located as provided in Section 118, adjacent to a C or M district:
 - 1. All principal uses as permitted and regulated in R-4 districts.
 - 2. All uses listed and as limited in Section 203.1(d).

SEC. 204.5. Conditional Uses Permitted, R-3.5 Districts.

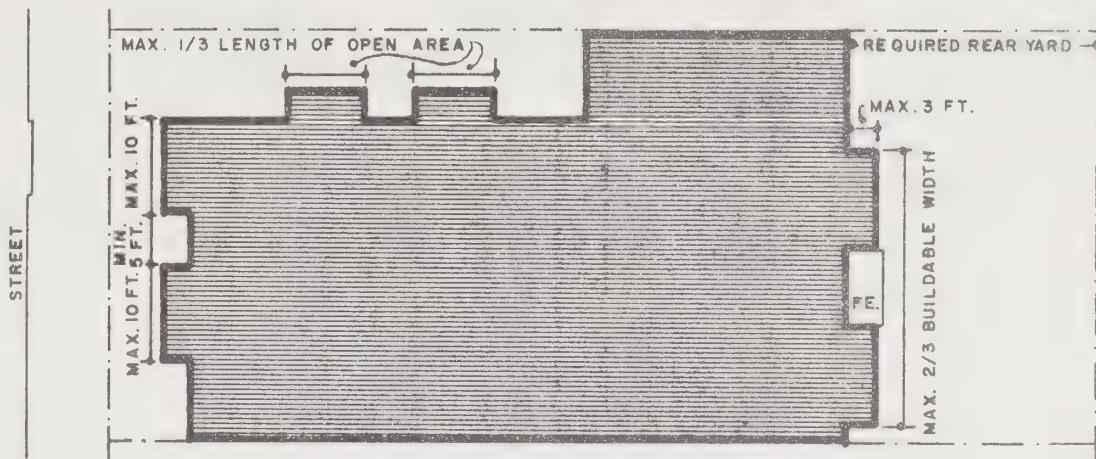
- (a) All conditional uses permitted in R-3 districts.

(B) Changes in Existing City Planning Code Sections.SEC. 126. [existing Section 126 rewritten] Permitted Obstructions

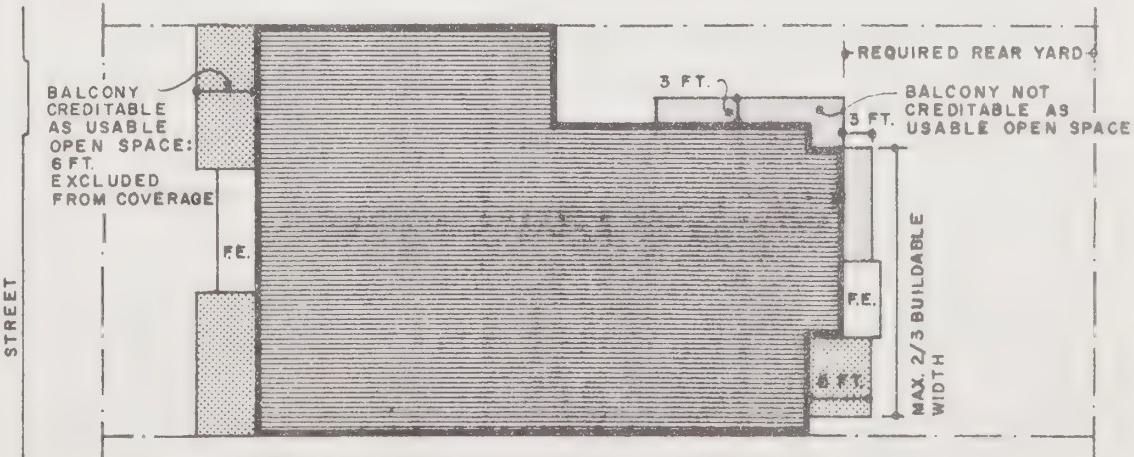
in Lot Coverage, Required Yards and Usable Open Space. The following obstructions shall be permitted, in the manner specified, within the open area required by this Code in the calculation of lot coverage, yards (other than those established by building set-back lines under Article 4 of this Code), and usable open space, as indicated by the symbol "X" in the columns at the left.

| Lot Coverage | Required Yards | Usable Open Space | |
|--------------|----------------|-------------------|--|
| X | X | X | <p>(a) Overhead horizontal projections (leaving at least $7\frac{1}{2}$ feet of headroom) of a purely architectural or decorative character such as cornices, canopies and eaves, not increasing the volume of space enclosed by the building and not projecting more than 3 feet into the required open area or 1/6 of the required minimum dimension (when specified) of the open area, whichever is less.</p>  |
| X | X | X | <p>(b) Bay (projecting) windows, leaving at least $7\frac{1}{2}$ feet of headroom; not projecting more than 3 feet into the required open area or 1/6 of the required minimum dimension (when specified) of the open area, whichever is less; and having a maximum length for each bay window of 10 feet and a minimum space between bay windows of 5 feet. The aggregate length of all bay windows that project into the required open area shall be no more than 2/3 the buildable width of the lot along a front or rear building wall, 2/3 the buildable length of a street side building wall, or 1/3 the length of all open areas along the buildable length of an interior side lot line; in the case of required yards, these limits on aggregate length shall apply to the</p> |

| Lot Coverage | Required Yards | Usable Open Space |
|--------------|----------------|---|
| | | aggregate of all bay windows, balconies, fire escapes and chimneys. |

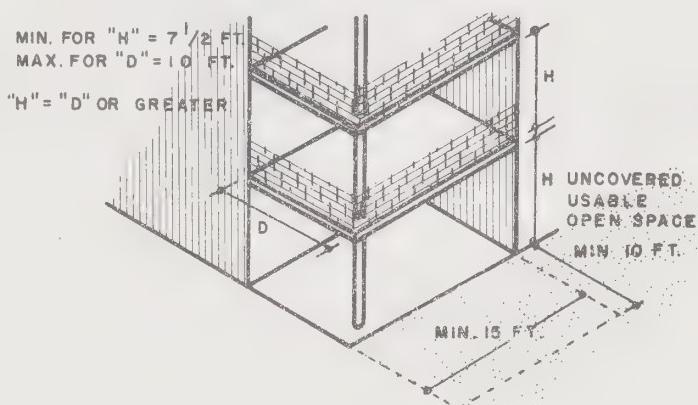


(c) Balconies (other than balconies used for primary access to two or more dwelling units or two or more bedrooms in group housing), leaving at least $7\frac{1}{2}$ feet of headroom, and not projecting more than 3 feet into the required open area or $1/6$ of the required minimum dimension (when specified) of the open area, whichever is less; and fire escapes, leaving at least $7\frac{1}{2}$ feet of headroom exclusive of drop ladders to grade, and not projecting more than necessary for safety and in no case more than $4\frac{1}{2}$ feet into the required open area. In the case of required yards, the aggregate length of all bay windows, balconies, fire escapes and chimneys that project into the required open area shall be no more than $2/3$ the buildable width of the lot along a rear building wall, $2/3$ the buildable length of a street side building wall, or $1/3$ the buildable length of an interior side lot line. In the case of lot coverage, balconies whose areas are creditable as usable open space may project up to 6 feet into the required open area.



| Lot Coverage | Required Yards | Usable Open Space |
|--------------|----------------|-------------------|
| | | x |
| | | x |
| | | x |
| | | x |
| | | x |
| | | x |
| | | x |
| | | x |

(d) Overhead horizontal projections other than those listed in paragraphs (a), (b) and (c) above, leaving at least $7\frac{1}{2}$ feet of headroom, where the depth of any such projection is no greater than the headroom it leaves, and in no case is greater than 10 feet; and provided that, in the case of common usable open space at ground level, the open space under the projection directly adjoins uncovered usable open space that is at least 10 feet in depth and 15 feet in width.



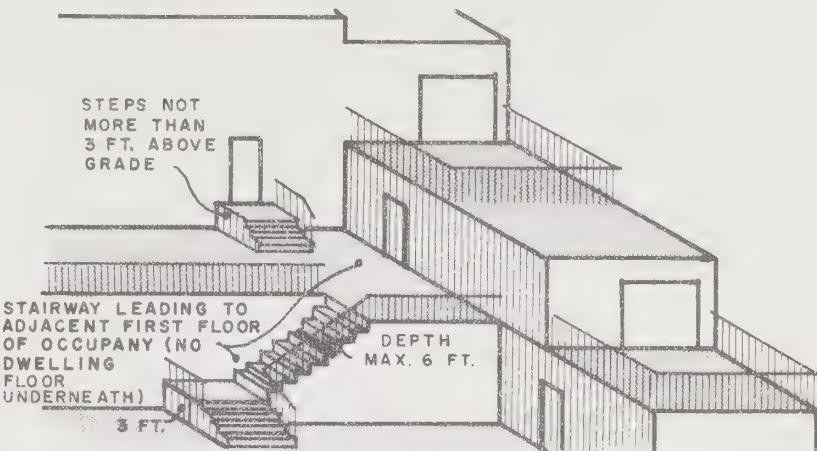
(e) Chimneys not projecting more than 3 feet into the required open area or $1/6$ of the required minimum dimension (when specified) of the open area, whichever is less; provided, that the aggregate length of all bay windows, balconies, fire escapes and chimneys that project into the required open area is no more than $2/3$ the buildable width of the lot along a rear building wall, $2/3$ the buildable length of a street side building wall, or $1/3$ the buildable length of an interior side lot line.

(f) Railings no more than $3\frac{1}{2}$ feet in height above any permitted step, stairway, landing, fire escape, deck, porch or balcony.

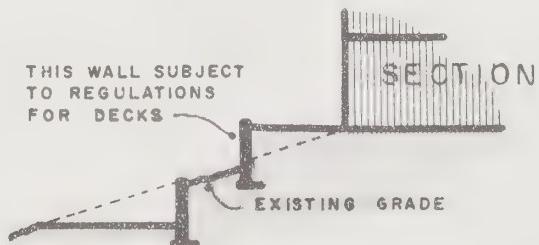
(g) Steps of any type not more than 3 feet above grade; and uncovered stairways and landings not extending above the floor level of the adjacent first floor of occupancy and projecting no more than 6 feet into the required open area for any portion that is more than 3 feet above grade, provided that such stairways and landings shall occupy no more than $2/3$ the buildable width of the lot along a front or rear building wall, $2/3$ the buildable length of a street side

| Lot Coverage | Required Yards | Usable Open Space |
|--------------|----------------|-------------------|
| | | |

building wall, or 1/3 the length of all open areas along the buildable length of an interior side lot line.



- ✗ ✗ ✗ (h) Normal outdoor recreational and household features such as drying lines, play equipment and garden furniture, and landscaping features.
- ✗ ✗ ✗ (i) Garden structures (gazebos, sunshades, etc.) no more than 8 feet in height above grade and covering no more than 60 square feet.
- ✗ ✗ ✗ (j) Retaining walls that are necessary to maintain approximately the grade existing at the time of construction of a building. Other retaining walls and the grade maintained by them shall be subject to the same regulations as decks (see paragraph (n) below).

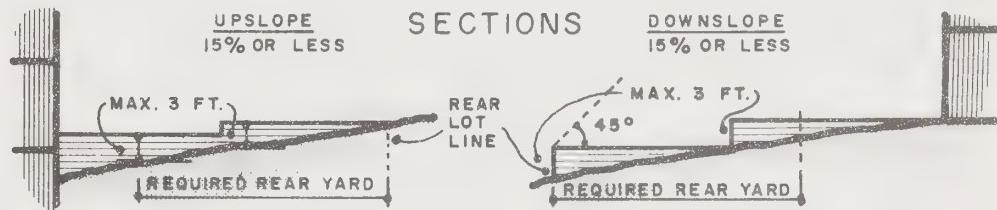


- ✗ ✗ (k) Fences and wind screens no more than 10 feet in height above grade.
- ✗ ✗ ✗ (l) Fences and wind screens no more than 6 feet in height above grade.
- ✗ ✗ (m) Garages which are under ground or under decks, provided their top surfaces are developed as usable open space and all such decks conform to paragraph (n) below.

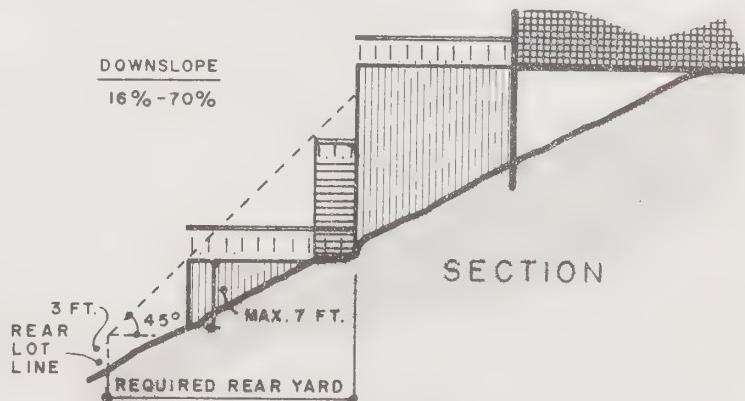
| Lot Coverage | Required Yards | Usable Open Space |
|--------------|----------------|-------------------|
| x | x | |

(n) Decks, whether attached to a building or not, at or below the adjacent first floor of occupancy, if developed as usable open space and meeting the following requirements:

1. Slope of 15 per cent or less. The floor of the deck shall not exceed a height of 3 feet above grade at any point in a required yard, nor shall such floor penetrate a plane made by a vertical angle 45 degrees above horizontal with its vertex 3 feet above grade at any lot line bordering a required yard.

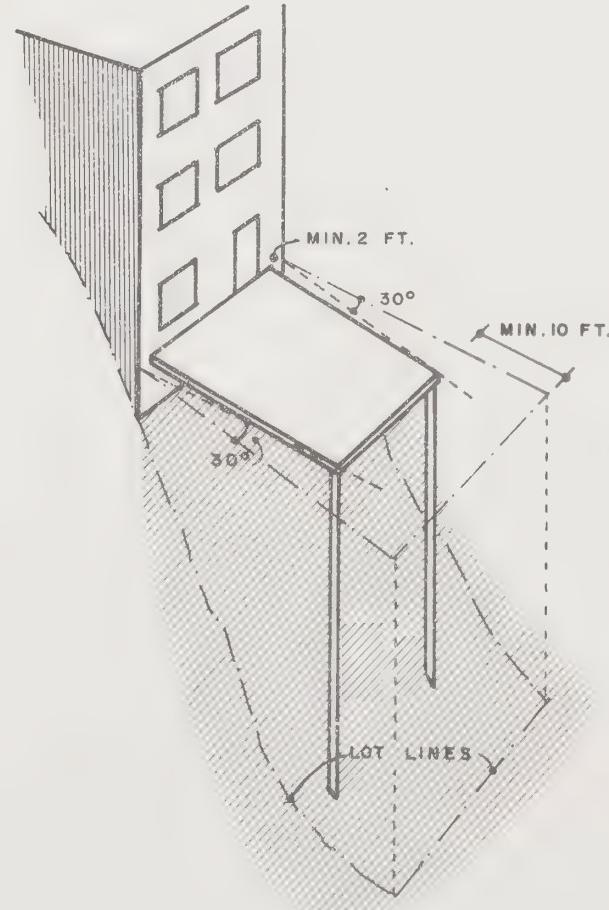


2. Slope of more than 15 per cent and no more than 70 per cent. The floor of the deck shall not exceed a height of 3 feet above grade at any point along any lot line bordering a required yard, nor shall such floor penetrate a plane made by a vertical angle 45 degrees above horizontal with its vertex 3 feet above grade at any lot line bordering a required yard, except that when two or more lots are developed with adjacent decks whose floor levels differ by not more than 3 feet, whether or not the lots will remain in the same ownership, each deck may come all the way to the lot line adjacent to the other deck. In addition, the vertical distance measured up from grade to the floor of the deck shall not exceed 7 feet at any point in a required rear yard.



| Lot Coverage | Required Yards | Usable Open Space |
|--------------|----------------|-------------------|
| | | |

3. Slope of more than 70 per cent. Because in these cases the normal usability of the required yard is seriously impaired by the slope, a deck covering not more than 1/3 the area of a required yard may be built exceeding the heights specified above, provided that the light, air, view and privacy of adjacent lots are not seriously affected. Each such case shall be considered on its individual merits. However, the following points shall be considered guide lines in these cases:
- (A) The deck shall be designed to provide the minimum obstruction to light, air, view and privacy.
 - (B) The deck shall be at least 2 feet inside all side lot lines.
 - (C) On downhill slopes, a horizontal angle of 30 degrees drawn inward from each side lot line at each corner of the rear building line shall be maintained clear and the deck shall be kept at least 10 feet inside the rear lot line.



| Lot Coverage | Required Yards | Usable Open Space |
|--------------|----------------|-------------------|
| x | | |
| x | | |
| x | x | |
| x | | x |

- (o) Any area in a one-story structure at ground floor level, not in a required yard, that is occupied by service uses such as garages, laundries and storage, but not by a dwelling unit or other form of housing.
- (p) Posts, columns, wing walls and other vertical members which do not increase the volume of space enclosed by the building.
- (q) Driveways and parking, to the extent permitted by Section 134.4 and elsewhere in this Code.
- (r) Obstructions permitted by Sections 125(a) and 125(c) of this Code.
- (s) Obstructions permitted by Section 134 of this Code.

| <u>Existing Section No. and Title</u> | <u>Change</u> | <u>Purpose</u> |
|---|---|---|
| 102.6. Boarding House (definition) | Add rooming houses to uses included within this term. | Correct apparent drafting error to clarify status of rooming houses. |
| 102.8. District (definition) | Add R-3.5 to list of districts. | Incorporate R-3.5. |
| 102.25. Open Space, Required (definition) | Add usable open space to items coming within this term. | Bring into play other sections of Code to prevent reduction of existing usable open space. |
| 104. Classes of Districts | Add R-3.5 (High-Medium Density). Change designation of R-3 to Low-Medium Density and R-4 to High Density. | Incorporate R-3.5, and provide more accurate description for R-3 and R-4. |
| 121. Height Limitations | Add R-3.5 following R-3 in two places. | Apply 40-foot height limit to R-3.5 dwellings and to dwellings on C-1 and C-2 lots adjoining R-3.5. |
| 122. Floor Area Ratio | Add an FAR of 1.8 to 1 for R-3 and R-3.5 districts, indicating it is to apply only to buildings other than dwellings in those districts. | Remove a gap which exists because such buildings have no height limit and yet have been without an FAR limit. |
| 125. Lot Coverage | Add R-3.5 following R-3 in two places. Reduce coverage for R-3 and R-3.5 to 70% for corner lots and 65% for other lots. | Incorporate R-3.5, and provide more reasonable coverage limits. |
| 129. Dwelling Units, Other R Districts | Add 600 square foot minimum lot area per dwelling unit for R-3.5. Increase R-3 minimum to 800 square feet per dwelling unit. | Incorporate R-3.5, and provide more reasonable density limit for R-3. |
| 132. Yard Requirements | In (a), change "hereafter provided" to "provided in Section 126 of this Code". Delete (e) and (f). Change designation of (g) to (e), and delete last two sentences of this paragraph. | Standardize provisions for obstructions in required yards, and remove confusion as to set-back requirements. |

| <u>Existing Section No. and Title</u> | <u>Change</u> | <u>Purpose</u> |
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| 134. Rear Yards | Add R-3.5 in table next to R-3. Increase corner lot rear yard requirement for R-3 and R-3.5 to 20 feet. Delete next to last sentence. | Incorporate R-3.5, and provide a more reasonable corner lot rear yard requirement. Remove blanket permission for garages in rear yards on corner lots in R-2 and R-3 (superseded by new Section 126). |
| 135. Automobile Parking Spaces, General | In (a), require that all parking spaces be independently accessible. Also, state that required open space may be occupied by parking only "except as otherwise provided in this Code". | Eliminate tandem parking. Also, adjust this section to recognize prohibition on rear yard parking in R-3 and R-3.5 (new Section 134.4). |
| 141. Parking Lots | Add R-3 and R-3.5 to list of districts for which parking lot screening is to be provided. | Apply screening requirement to medium density as well as low density districts. |
| 204. R-3 Districts | Add usable open space, courts and parking to building requirements to which a cross-reference is made. | Recognize new Sections 134.1, 134.2, 134.3 and 134.4. Also, correct drafting error which omitted direct cross-reference to parking. |
| 204.1. Principal Uses Permitted, R-3 Districts | In (e)1, change the controlling district for transitional lots from R-4 to R-3.5. In (e)2, change the section number from 203.1(f) to 203.1(d). | Recognize R-3.5 as the next less restrictive district. Also, correct a drafting error in a section cross-reference. |
| 402. Buildings Between Set-back Lines and Streets Prohibited | Add prohibition on parking of motor vehicles within front set-back lines. Also, permit balconies to project in the same manner as bay windows, and permit a cornice or roof overhang to project up to two feet for the full width of the building. | Incorporate provisions which make the set-back requirements more definite, and which have been applied administratively in past cases. |

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